



DESERT STATE HOME INSPECTIONS
5425 E Pershing Ave.
Scottsdale AZ 85254
(480) 585-6456
www.desertstateinspections.com

Inspected By:
Matt Fey AZ#59715

Client Information:

Sample

FRONT VIEW

PHOTO



Inspection Summary

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Major Defect

SWIMMING POOL / SPA

Heaters

The pool heating system appeared to be inoperable at the time of the inspection. LED displayed "Ignition failure" when tested.

Excessive water was leaking in heater cabinet at time of inspection.

No evidence of gas shut off within 6 ft of gas fired heater. Recommend shut off valve be installed.

Gas line to gas fired heater is running along soil and rusting. Gas line should be wrapped if in soil or elevated above soil to avoid rusting. Recommend repairs.

The Inspector recommends that the entire heating system be evaluated and any necessary repairs be made by a qualified contractor.

If unit would need to be replaced the cost may exceed \$2000.

Safety Concern

EXTERIOR

Outlets

SE outlet by garage door, GFCI outlet would not trip as designed. Recommend replacing outlet.

SW patio outlet cover is not secured properly, open conditions exist. Recommend repair.

ELECTRIC

Overcurrent Device

Arc fault breaker in sub panel B did not trip when tested and should be replaced.

The main electrical service panel contained Arc Fault Circuit Interrupter (AFCI) breakers designed to provide fire protection by shutting off current flow should sensors detect arcing at outlets on the protected circuit. AFCI protection of electrical outlets in sleeping rooms is required in new construction

Electrical Faults

Sub panel D - Gaps around bottom knock outs should be sealed to prevent pest intrusion.

Sub panel D - Most labels have faded and should be relabeled.

Sub panel B- Pointed screws were noted at panel cover and should be replaced with blunt screws.

Sub panel A and Sub panel C - White wires are noted on main breakers- these white wires are designated neutral wires- when attached to breakers they should be covered with black tape or colored black with magic marker. Not uncommon to see white wires on breakers but should be covered properly.

INTERIOR

Smoke Detectors

Several smoke detectors on South side of home are missing batteries. Recommend batteries be installed

Smoke detectors should be checked on the day home is occupied.

BATHROOM

Spa

There are 2 outlets under the master bathroom spa tub 1 is GFCI protected as required, 1 outlet is not GFCI protected. Would expect both outlets to be GFCI protected, recommend repair.

Unable to determine if spa pump is bonded due to limited visibility.

WATER HEATER

Water Heater Flues / Chimneys

Garage vent pipe not properly fastened with three screws or taped at each of the joints. Example: flue to divertor connection

Safety Concern

GARAGE

Garage Door Operator

Both garage doors #1 and #2 did not reverse properly with 15 pound pressure test -recommend repair/adjustment. Sensors were operational.

Garage Separation Walls

Doggie door installed along garage separation wall is not fire rated- recommend removing doggie door and replacing with 5/8 inch drywall for proper fire rating.

SWIMMING POOL / SPA

Electrical

Junction box with a switch cover in the pool equipment area has exposed wiring noted and proper cover should be installed to prevent injury.

Armor cable conduit at pump is loose, wiring is exposed. Recommend repair.

1 pool light did not respond to available controls. Recommend repair.

Spa lights and GFCI outlet tested and serviceable- Pump motors and heater appear bonded.

Pool Fencing

No protective barrier was installed around the pool. This condition is a potential danger to small children. The inspector recommends that a barrier compliant with modern safety standards be installed by a qualified contractor for safety reasons.

Entrapment Prevention

Recommend upgrading to newer style anti entrapment drains- device to prevent entrapment due to pool suction at drain areas.

ADDITIONAL COMMENTS

GFCI Installation

For Safety Purposes, newer homes are equipped with GFCI (Ground Fault Circuit Interrupter) outlets in all wet environment areas. It is recommended that you consider installing GFCI outlets in all wet environment areas.

Service/Repair

EXTERIOR

Cladding

Stone ledge outside kitchen window, grout cracks noted. Recommend sealing to prevent moisture intrusion and further damage.

Stucco cracking along North balcony stairway. Runs parallel with stairway. Recommend repair. Previous repairs were noted.

Typical cracks. Standard for stucco repair is width of dime-recommend monitoring.

Window Screens

Middle exterior window shade outside living room bunches up when closed. Recommend adjustment.

Kitchen Windows are missing screens. Few screens noted in garage.

NE window at laundry has missing screen. Use Caution when opening blind. It is held in place by magnets, not hinges.

Standard for window screens is every window that opens is required to have screen.

Lighting

Few bulbs appear to have burnt out on exterior of home and should be replaced.

Although low voltage lighting is outside the scope of the home inspection process, a light along the West side of the yard had a melted cover and should be repaired. Would not expect bulb to melt cover, potential too large of bulb installed.

Dusk to dawn sensor lights are not part of the inspection process- cannot be evaluated.

Low voltage lighting such as malibu lighting is not part of the inspection process.

Service/Repair

GROUNDS

Entry

Evidence of heaving visible at entry walkway, slight deflection noted and bottom of column has cracked.
Recommend monitoring.
Columns are stone.

Steps

Step treads and risers should all be the same height and width. A trip hazard exists if a difference of 3/8" is present.
Example West patio by BBQ.

Fencing

North access gate binds, therefore this gate does not self close and latch. Pool present, would expect this gate to self close and latch. Recommend repair.

North access gate latch hardware is bent and damaged.

North metal fence is loose at column. Anchor head is missing.

Vehicle access gate has soil and rock up against it, unable to test.

Irrigation

At least 2 drip heads were not operating as designed at time of inspection, water was spraying out and not dripping as intended.

Water around base of a few planters, evidence of leaking or overwatering.

Inspection of irrigation systems lies beyond the scope of the General Home Inspection and the Inspector did not inspect the system. You may wish to have this system inspected by a qualified irrigation or landscape contractor before the expiration of your Inspection Objection Deadline.

Vegetation

Recommend keeping trees cut back from roof line- can cause roof tile damage.

PLUMBING

Exterior Hose Bibs

At least 5 hose bibs leaked at packing nut when water was run. Recommend repair. Example: East, West, etc...

Anti-siphon devices are installed as required.

ROOF

Roof Covering

Few cracked or smashed clay tiles were noted, at least 6.

There is a lot of debris on the roof which should be cleaned off to prevent roof leaks.

Foam roofing has few blisters 15 or so noted- from 1 inch to 10 inches in size. Industry standard is any blister above 2 inches should be repaired. Did not see any with holes in them.

Many areas around flat foam roof perimeter have deteriorated or birds have pecked through. These areas should be repaired to prevent moisture intrusion.

Few areas of parapet wall were cracked beyond typical and had few holes which should be sealed and repaired.

Asphalt roofing at valley on North side of home has visible cracking.

Annual maintenance of this type of roof should be anticipated.

Recommend further evaluation and repair by qualified roofing contractor prior to close.

CHIMNEY

Chimney 1 Type

All chimneys have large stucco cracks, approximately width of a quarter in size, where flue meets chimney cap.
Recommend repair to prevent moisture intrusion.

KITCHEN

Kitchen Sink 3rd Faucet

Kitchen main faucet, leak noted when button is depressed. Recommend repair.

Service/Repair

INTERIOR

Interior Doors

Damaged or missing door stops noted. Can cause door knobs to damage drywall and damage to doors. Examples: Rubber stoppers missing - Master entry and patio doors, Foyer Main Entry doors, Coat closet, etc...

Interior Walls

NW mechanical room, potential mold like substance on the walls visible at the time of the inspection appeared to be the result of moisture. The moisture meter showed elevated moisture levels in the affected areas at the time of the inspection. The Inspector recommends further evaluation and repair qualified contractor prior to close. Trim is warped in this area also.

Windows

Dining Room NE window difficult to latch.
Most tracks are dirty- recommend cleaning and lubricant-silicone spray or graphite recommended.

Closets

SW bedroom closet door does not latch when closed, recommend adjustment/repair.

BATHROOM

Bathroom Doors & Windows

SW bathroom doorstop needs adjustment. Presently door hits towel rack before hitting door stop.

Bathroom Outlets

Outlets under bathroom sinks were not energized at time of inspection.

Bathroom Sink Faucets

NE office bathroom hot water has restricted flow at vanity sink. Cold water flow as acceptable. Recommend repair.

Bathroom Sink Drain and Trap

SE bathroom sink was slow to drain. Recommend cleaning.
SW bathroom, corrosion was noted at the hot water shut off valve. Not leaking at time of inspection.

Bathtub Faucets

Master bathroom tub filler/spout is loose.

Seal Around Bathtub

SE bathroom tub, cracked grout noted along right side. Recommend improving seal.

WATER HEATER

Water Heater 1 Approx. Age

The average life span of water heaters is 8 to 10 years. Both units are approximately 13 years old and extended life should not be expected. You may want to discuss home warranty with your agent.

COOLING

Cooling Lines

Insulation is missing on cooling line at South condensing units- insulation should be repaired/replaced.

Condensate Drain

Evidence of condensate and rusting along the North mechanical room pedestal indicates that the primary drain is clogged, and an HVAC contractor should clean out condensate drains.
North condensate drain discharges at soil level. This could cause the drain to back up. Recommend there be at least 1 inch gap between drain and soil.

GARAGE

Garage Electrical System

Garage florescent light above garage #2 did not respond to available controls. Could be failed bulb or ballast.

Service/Repair

SWIMMING POOL / SPA

Liner

Calcium / lime deposits noted.

Other=Tile.

The pool had a electrically-operated mechanical cover designed to cover and uncover the pool with a switch. Tested operational.

Equipment

Pop ups are not operating properly- Only 4 pop ups operated at time of inspection- pressure should fluctuate as this system is cycling- no change at entire time at equipment. Recommend further evaluation and repair by qualified pool professional.

Pipes & Valves

Leaks were observed at the bottom of both filters at the drain cover.

A leak was visable along the PVC plumbing and should be repaired.

A leak was noted along the port valve assembly and should be repaired.

A broken ball valve handle was noted.

No aerator installed, not required (designed to lower pool temperatures by running aerators at nighttime.) Spillway would have served similar capacity but has been abandoned.

Seller stated spillway has been abandoned.

Spa

Spa cover was damaged.

Spa was operational. Recommend having seller inform spa and pool operation prior to closing. Blower and pumps were operational.

Home inspectors are not allowed to change valve settings.

GUTTERS

Downspout Type

Technically Downspouts should terminate 6 feet from foundation. Fairly typical conditions for Phx metro area

Gutters have ground level drains present- cannot test operationally.

ADDITIONAL COMMENTS

ADDITIONAL INFORMATION / SUGGESTIONS

Items that have been identified as Major Defect, Safety or Service/Repair need to be evaluated, repaired, modified or replaced and certified by a qualified licensed technician so as to be safe, effective and dependable.

Please note, our inspectors cover Maricopa County and beyond- codes change from time to time, town to town. We inspect to general standards. So, recognizing that towns have variances and the home has a certificate of occupancy, we assume the variances have been approved.

Thank you for using Desert State Home Inspections- please read the full report- any questions please call.

Monitor/Maintain/Noted

PLUMBING

Waste System

No test performed on septic system and is not a part of the home inspection. According to Seller- A separate inspection should be completed on your septic system. Beyond the scope of the home inspection process. Septic systems need to be cleaned and certified.

Private septic systems should be pumped periodically.

Inspection Report Details

DETAILS

Satisfactory **Inspection Information - General Comment**

Home is vacant

Satisfactory **Buyer Present - Yes**

Satisfactory **Buyer's Agent Present - Yes**

Satisfactory **Seller Present - No**

Satisfactory **Seller's Agent Present - Yes**

Satisfactory **Weather Condition - Sunny**

Satisfactory **Outside Temperature - Outside Temperature**

Approximate Temperature = 90 Degrees

Satisfactory **Front of House Facing - East**

EXTERIOR

Satisfactory **EXTERIOR - Definition/Limitation**

The visible exterior surfaces and materials of the building were observed to determine their current condition. Areas of the foundation and / or structural components of the building are inaccessible because they are installed at or below grade level, and / or behind walls. Areas concealed from view by any means and assessing the structural integrity of a building are excluded from this report. Foundations may have curing cracks that do not represent a structural problem. All concrete experiences some degree of cracking due to shrinkage in the drying process. If large cracks are present along with movement, we recommend further evaluation by a structural engineer, foundation specialist, or a geologist. All exterior grades should allow for surface and roof water to be diverted away from the foundation system. Review wood infestation inspectors report to determine if any insect/pest conditions exist.

Satisfactory **Type of Home - Frame, 1 Story**

Interior of walls is not visible- No visual evidence of cracking, deflection, damage, termite damage, bowing, sagging etc. See cladding or fascia details. Unable to determine if vapor barriers are present behind windows, doors etc. Commonly referred to as Tyvek or water blocking. Are not presently visible.

Satisfactory **Exposed Foundation - Poured Concrete**

Stucco covers foundation- Cannot visually see foundation. Wood infestation inspector may list this condition as negative or faulty grade.

Satisfactory **Slab On Grade - Satisfactory**

Based on conformity of floor coverings. Slab is not visible. (inspection limited).

Satisfactory **Soffit\Fascia - Metal, Stucco**

EXTERIOR

Service/Repair **Cladding - Stucco**

Stone ledge outside kitchen window, grout cracks noted. Recommend sealing to prevent moisture intrusion and further damage.

Stucco cracking along North balcony stairway. Runs parallel with stairway. Recommend repair. Previous repairs were noted.

Typical cracks. Standard for stucco repair is width of dime-recommend monitoring.



Satisfactory **Trim Work - Vinyl, Wood**

Satisfactory **Weather Stripping - Generally Good Condition**

Satisfactory **Caulking - Generally Good Condition**

Satisfactory **Grading - Adequate**

Soil should slope away from home to improve drainage.

Satisfactory **Entry Doors - Generally Good Condition**

Satisfactory **Patio Doors - Sliding, Wood Thermo, French**

Satisfactory **Glass - Dual Pane**

Dual pane windows are dirty- difficult to view for condensate build up.

EXTERIOR

Service/Repair Window Screens - Missing

Middle exterior window shade outside living room bunches up when closed. Recommend adjustment.
Kitchen Windows are missing screens. Few screens noted in garage.
NE window at laundry has missing screen. Use Caution when opening blind. It is held in place by magnets, not hinges.
Standard for window screens is every window that opens is required to have screen.



Safety Concern Outlets - GFCI, Grounded

SE outlet by garage door, GFCI outlet would not trip as designed. Recommend replacing outlet.
SW patio outlet cover is not secured properly, open conditions exist. Recommend repair.



Service/Repair Lighting - Needs Repair

Few bulbs appear to have burnt out on exterior of home and should be replaced.
Although low voltage lighting is outside the scope of the home inspection process, a light along the West side of the yard had a melted cover and should be repaired. Would not expect bulb to melt cover, potential too large of bulb installed.

Dusk to dawn sensor lights are not part of the inspection process- cannot be evaluated.
Low voltage lighting such as malibu lighting is not part of the inspection process.



Satisfactory Balcony - Generally Good Condition

Satisfactory Areaway - Present

Satisfactory Deck - Generally Good Condition

EXTERIOR

Satisfactory

Exterior Railing - Generally Good Condition

GROUNDS

Satisfactory

GROUNDS - Definition/Limitation

Sprinkler system is not part of the home inspection process.

Exterior BBQ is not part of the inspection process- did sample for client-did not ignite, replacing battery may resolve.

Did hear and smell gas. Shut off is with in 6 feet of appliance as required.

Firepit is manual lighting -not allowed to light but could smell and hear gas. Gas line is underground-unable to determine if gas line has been properly wrapped or protected from soil conditions as required.

Misting system noted on patio- not part of the home inspection process.

Water feature is not part of the home inspection process. No water was noted at time of inspection.

Service/Repair

Entry - Tile

Evidence of heaving visible at entry walkway, slight deflection noted and bottom of column has cracked. Recommend monitoring. Columns are stone.



Satisfactory

Walks - Stepping Stones, Other

Other = Flagstone- typical grout and flagstone cracks noted- nature of material.

Service/Repair

Steps - Tile

Step treads and risers should all be the same height and width. A trip hazard exists if a difference of 3/8" is present. Example West patio by BBQ.



Satisfactory

Patio - Tile

Columns are stucco covered appears to be frame construction.

Satisfactory

Driveway - Brick

Satisfactory

Wood to Earth Contact - No

GROUNDS

Service/Repair Fencing - Stucco Covered Block, Metal

North access gate binds, therefore this gate does not self close and latch. Pool present, would expect this gate to self close and latch. Recommend repair.

North access gate latch hardware is bent and damaged.

North metal fence is loose at column. Anchor head is missing.

Vehicle access gate has soil and rock up against it, unable to test.



GROUNDS

Service/Repair Irrigation - Needs Repair

At least 2 drip heads were not operating as designed at time of inspection, water was spraying out and not dripping as intended. Water around base of a few planters, evidence of leaking or overwatering.

Inspection of irrigation systems lies beyond the scope of the General Home Inspection and the Inspector did not inspect the system. You may wish to have this system inspected by a qualified irrigation or landscape contractor before the expiration of your Inspection Objection Deadline.



GROUNDS

Service/Repair **Vegetation - Needs Trimming**

Recommend keeping trees cut back from roof line- can cause roof tile damage.



Satisfactory **Drainage - Appears Adequate**

ELECTRIC

Satisfactory **ELECTRICAL SYSTEM - Definition/Limitation**

The inspection includes identifying the type and capacity of the service and evaluating panels, overcurrent protection, wiring, system ground, and a representative number of switches and outlets. It is essential that any recommendations that we make be completed before the end of the inspection period because a specialist could reveal additional deficiencies or recommend upgrades. Generally, the comments made in this section are safety related and critically important. Adding Arc Fault Circuit Interrupter (AFCI) protection, a breaker designed to stop arcs and sparking from occurring is strongly advised. In 2015 the Consumer Product Safety Commission specifically advised that all property owners have a licensed electrician perform a complete system evaluation and install AFCI protection especially if the property is older than 40 years old or has had renovations/additions. Prior to the end of the inspection period, be sure to also check the property electric bills for excessive cost which may indicate one or more system problems.

Satisfactory **Electrical Service - Underground**

Not visible.

Satisfactory **Electrical Service Wire - Not Visible**

Satisfactory **Overhead Clearance - Adequate**

Satisfactory **Main Panel - Other**

Other = 600 amp 3 phase system present.

At the bottom left of the main panel are 6 separate sub panel disconnects. To shut down the entire system you will need to throw all 6 breakers.

Satisfactory **Voltage Available - 120 / 240**

ELECTRIC

Satisfactory Main Panel Accessibility - Accessible

Satisfactory Main Panel Location - Exterior

Main Panel is located South side of home.

Safety Concern Overcurrent Device - Breaker

Arc fault breaker in sub panel B did not trip when tested and should be replaced.

The main electrical service panel contained Arc Fault Circuit Interrupter (AFCI) breakers designed to provide fire protection by shutting off current flow should sensors detect arcing at outlets on the protected circuit. AFCI protection of electrical outlets in sleeping rooms is required in new construction

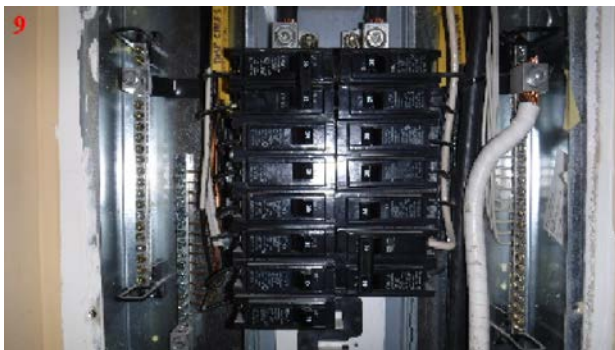
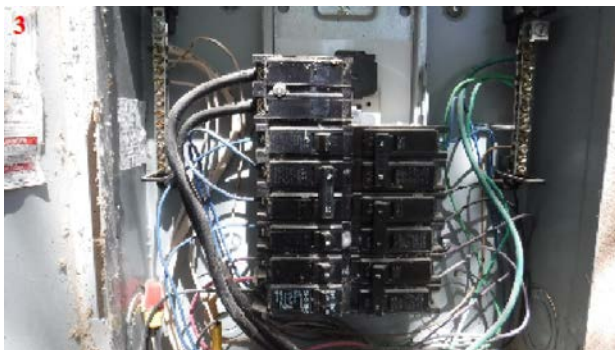


ELECTRIC

Satisfactory

Sub Panel - Pool Equipment, Beside Main, Garage, Other

Other = North



ELECTRIC

Satisfactory Branch Circuit Conductors - Copper

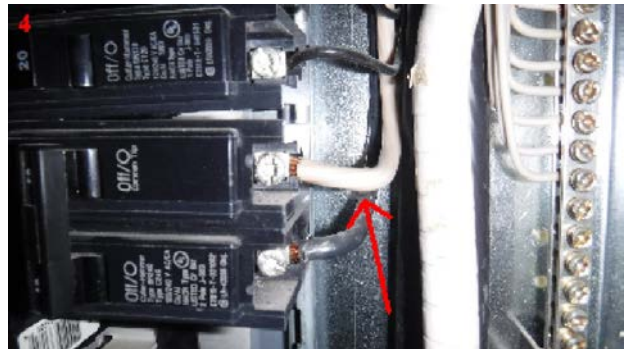
Satisfactory Type of House Wire - Romex

Satisfactory Grounding - Appears Grounded

Grounding source is not visible-may be UFER system grounded into foundation.
Bonding source is noted at gas & water main.

Safety Concern Electrical Faults - Sub Panel 1, Sub Panel 2, Other

Sub panel D - Gaps around bottom knock outs should be sealed to prevent pest intrusion.
Sub panel D - Most labels have faded and should be relabeled.
Sub panel B- Pointed screws were noted at panel cover and should be replaced with blunt screws.
Sub panel A and Sub panel C - White wires are noted on main breakers- these white wires are designated neutral wires- when attached to breakers they should be covered with black tape or colored black with magic marker. Not uncommon to see white wires on breakers but should be covered properly.



Satisfactory Wiring Compatibility - Correct

Satisfactory Branch Circuit Over-Current Devices - Breakers

PLUMBING

Satisfactory PLUMBING - Definition/Limitation

The inspection includes evaluation of functional flow & functional drainage. Shut-off valves ARE NOT OPERATED by the inspector due to the likelihood of leaking/water damage. Hire a licensed plumber for a video scan of the waste lines before closing escrow or the end of your inspection period if you desire additional protection - we cannot possibly replicate the demand on the system when a home is occupied. Additional evaluation of waste lines by video scanning should be considered for properties constructed before the 1970's. Concealed piping will not be evaluated or positively identified for type during this inspection, description of material type noted in the report refers to visible portions only - if you are concerned about piping type, consult a qualified plumber prior to the end of your inspection period. Some plastic piping like polybutelene and pex can be problematic and require additional steps beyond this inspection to identify and analyze. Also, undetectable sub-slab leaks can occasionally exist which could be costly and difficult to repair. If the property has a gas system and appliances, you must realize that our inspection for leaks is limited to the use of the inspector's sense of smell only. Contact the fuel supplier for system leak testing (not part of this inspection) prior to the end of your inspection period. Prior to the end of your inspection period, check the property gas and/or water bills for excessive cost which may indicate one or more system problems. Water treatment systems are not part of the inspection process.

Satisfactory Water Source - Municipal

The home water was supplied from a public source

Satisfactory Municipal Main Supply Type - Copper

Copper stub out noted- main plumbing line from meter to home is not visible-cannot evaluate. Line is painted.

Satisfactory Main Water Shut Off - Exterior

Home inspectors do not turn main lines on and off- beyond standard due to potential for leaking. Main shut off valve is located on East side of home.



Satisfactory Interior Visible Water Pipes - Copper, Plastic

The building is served by copper potable water pipes (where visible - other piping types may exist). Copper stub outs noted under cabinet- limited visual. Most water distribution pipes were not visible due to wall, floor and ceiling coverings. Plumbing to sprinkler fire suppressant system is plastic.



Monitor/Maintain/Noted Waste System - Private Septic

No test performed on septic system and is not a part of the home inspection. According to Seller- A separate inspection should be completed on your septic system. Beyond the scope of the home inspection process. Septic systems need to be cleaned and certified. Private septic systems should be pumped periodically.

Satisfactory Interior Waste/Vent Pipe Penetrations - Plastic

Only visible at trap areas under sinks and roof areas- possible clean outs. Appears to be ABS & PVC-Poly Vinyl Chloride

PLUMBING

Service/Repair Exterior Hose Bibs - Operates

At least 5 hose bibs leaked at packing nut when water was run. Recommend repair. Example: East, West, etc...

Anti-siphon devices are installed as required.



Satisfactory Water Pressure - Adequate

Water pressure at the hose bib at the front of the home was 80 psi. The standard range is 45-65 psi. Pressure reducer valve is installed.



Satisfactory Functional Flow - Adequate

Satisfactory Supports / Insulation - Supports Present

No additional supports visible with exception of supports through wall cavities and exterior covering. Did sample to be certain plumbing lines were secured.

Satisfactory Functional Drainage - Adequate

Satisfactory Cross Connection - Not Present

Satisfactory Main Gas Valve - Exterior

Gas shut off is located on East side of home. Property has a gas system and appliances, you must realize that our inspection for leaks is limited to the use of the inspector's sense of smell only. If you have any concerns contact the fuel supplier for additional system leak testing (not part of this inspection) prior to closing escrow.



Satisfactory Fire Suppression System - Present

The home had a fire suppression system installed. This system is designed to extinguish a fire in the home interior by releasing a liquid or foam under pressure from spray nozzles mounted on the ceilings of the home. Inspection of fire suppression systems lies beyond the scope of the General Home Inspection. The system was not inspected. The Inspector recommends inspection by a qualified contractor. You should ask the contractor about any system maintenance requirements.

Access panel is in the garage on the North wall.

ROOF

Satisfactory

ROOF - Definition/Limitation

We access the roof to examine the surface or note that our access was limited. Roof flashings are not completely visible due to roofing materials and therefore inspection of the flashing is limited. The inspection will not include a prediction of remaining life-expectancy or a guarantee against leaking.

ROOF

Satisfactory

Roof Overview Photos - Overview Photos



ROOF

Satisfactory

Roof Overview Photos - Overview Photos



Satisfactory

How Inspected - Walk on Roof, Ladder

Satisfactory

Roof Access Restricted - Type of Material

We cannot walk on clay tile roof covers. Clay tile will be broken. Therefore areas that viewed from a ladder and were observed from the flat roof only. Some areas may not be visible.

Satisfactory

Roof Style - Gable, Flat, Hip

Unable to visually see and evaluate flat roofing insulation and framing areas.

ROOF

Service/Repair Roof Covering - Spanish Clay Tile , Foam

Few cracked or smashed clay tiles were noted, at least 6.
There is a lot of debris on the roof which should be cleaned off to prevent roof leaks.

Foam roofing has few blisters 15 or so noted- from 1 inch to 10 inches in size. Industry standard is any blister above 2 inches should be repaired. Did not see any with holes in them.

Many areas around flat foam roof perimeter have deteriorated or birds have pecked through. These areas should be repaired to prevent moisture intrusion.

Few areas of parapet wall were cracked beyond typical and had few holes which should be sealed and repaired.

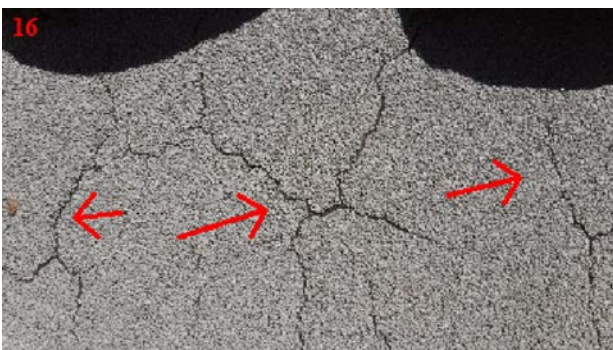
Asphalt roofing at valley on North side of home has visible cracking.

Annual maintenance of this type of roof should be anticipated.
Recommend further evaluation and repair by qualified roofing contractor prior to close.



ROOF

Service/Repair Roof Covering - Spanish Clay Tile , Foam



ROOF

Satisfactory **Approx. Age - 10 thru 15**

Unable to do destructive testing to evaluate underlayment and membrane under tiles and shingles- beyond the scope to the home inspection process.

Satisfactory **Number of Layers - 1**

Single layer sampled- it is possible for someone to have several layers of foam- difficult to determine without destructive testing.

Satisfactory **Roof Ventilation System - Gable Vents, Dormer, Top**

Satisfactory **Flashing - Metal**

Satisfactory **Valleys - Metal**

Satisfactory **Plumbing Vents - Plastic**

Plumbing stacks are covered with metal flashing and are not visible- assume plastic sampled under sink drain areas.

Satisfactory **Evidence of Roof Leaks - None Visible**

CHIMNEY

Satisfactory **CHIMNEY - Definition/Limitation**



Satisfactory **Chimney Inspected From - Roof**

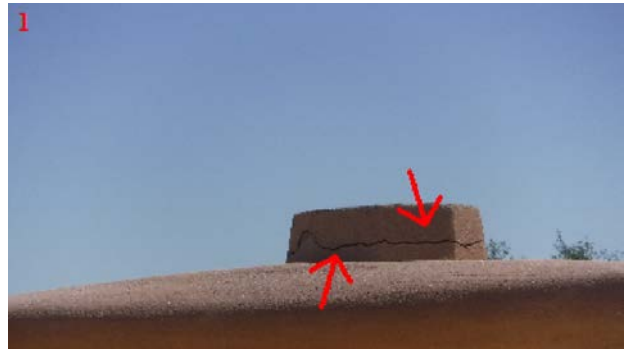
Satisfactory **Access Restricted - Other**

Other = Unable to view interior of chimney due to height and walking restrictions.

CHIMNEY

Service/Repair Chimney 1 Type - Stucco

All chimneys have large stucco cracks, approximately width of a quarter in size, where flue meets chimney cap. Recommend repair to prevent moisture intrusion.



Satisfactory Chimney 1 Location - Center

Satisfactory Chimney 2 Type - Stucco

Satisfactory Chimney 2 Location - South

Satisfactory Flue Lining - Clay Tile

Satisfactory Chimney Cap - Other

Other =Stucco

Satisfactory Spark Arrester - Present

KITCHEN

Satisfactory **KITCHEN - Definition/Limitation**

Ancillary components/systems (e.g., water purifiers, refrigerator/freezer, coffee maker, bread warmer, ice maker, wine chiller, toaster oven, etc.) are not part of the inspection scope.

Satisfactory **Kitchen Walls - Generally Good Condition**

Satisfactory **Kitchen Ceiling - Generally Good Condition**

Satisfactory **Kitchen Floors - Generally Good Condition**

KITCHEN

Satisfactory Kitchen Lights - Operates

Satisfactory Kitchen Outlets - GFCI

Satisfactory Kitchen Doors & Windows - Generally Good Condition

Satisfactory Kitchen Cabinets - Generally Good Condition

Cabinet doors and drawers are sampled.

Satisfactory Kitchen Countertops - Generally Good Condition

Satisfactory Kitchen Sink - Generally Good Condition

Scratches noted in sink- cosmetic

Satisfactory Kitchen Sink Faucet - Generally Good Condition

Service/Repair Kitchen Sink 3rd Faucet - Sprayer

Kitchen main faucet, leak noted when button is depressed.
Recommend repair.



Satisfactory Kitchen Drain and Trap - Generally Good Condition

Satisfactory Garbage Disposal - Operates

Satisfactory Exhaust Fan Hood - Operates

Satisfactory Microwave - Operates

Satisfactory Range Oven - Operates

Bake and broil tested- serviceable

Satisfactory Surface Cook top - Operates

Satisfactory Refrigerator - Built-in

Refrigerators are evaluated for cooling only- all the extras-water-lights-various ice maker features are not tested.
Freezer temperature 7 degrees. Fridge temperature is 44 degrees

Satisfactory Dishwasher - Operates

KITCHEN

Satisfactory Kitchen Cooling Source - Present

Satisfactory Kitchen Heating Source - Present

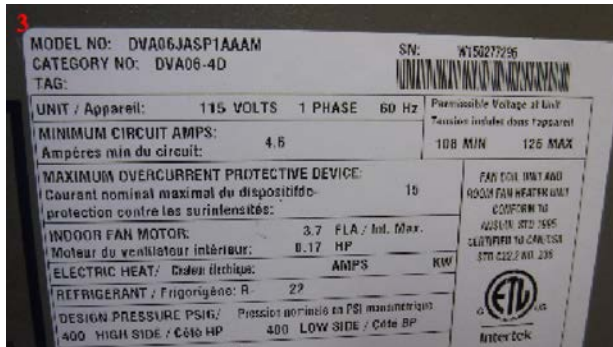
INTERIOR

Satisfactory INTERIOR - Definition/Limitation

The inspection includes the visually accessible areas of walls, floors, cabinets and counters, including the testing of a representative number of windows and doors. We do not evaluate window treatments, move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. A number of environmental pollutants can exist in a building such as asbestos, carbon monoxide, radon, and a variety of molds and fungi that require specialized equipment to detect, which is beyond our expertise and the scope of our service. It is also recommended that the age of Smoke and Carbon Monoxide detectors are reviewed, these items do have industry standard life span requirements. Smoke detectors generally have a 10 year and Carbon Monoxide detectors a 5 year life expectancy. Normally the manufactured date is located on the back side of the detector, checking these dates are not performed during the inspection and beyond the scope of the inspection. WE SPECIFICALLY ADVISE THAT IF YOU HAVE AIR QUALITY OR MOLD CONCERNS THAT YOU HAVE TESTING PERFORMED BY EXPERTS PRIOR TO CLOSING ESCROW.

Satisfactory Interior Rooms - Living Room, Family Room, Dining Room, Den, Office, Dining area at kitchen, Wine Cellar

The optimum temperature for wine cellars storing a variety of wines is generally agreed upon as being between 52F (11C) and 59F (15C). Temperatures between 40F (4C) and 65F (18C) are considered acceptable. The temperature in the wine cellar at the time of the inspection was 53 degrees .



Satisfactory Number of Bedrooms - 4

INTERIOR

Service/Repair Interior Doors - Needs Repair

Damaged or missing door stops noted. Can cause door knobs to damage drywall and damage to doors. Examples: Rubber stoppers missing - Master entry and patio doors, Foyer Main Entry doors, Coat closet, etc...



Service/Repair Interior Walls - Needs Repair

NW mechanical room, potential mold like substance on the walls visible at the time of the inspection appeared to be the result of moisture. The moisture meter showed elevated moisture levels in the affected areas at the time of the inspection. The Inspector recommends further evaluation and repair qualified contractor prior to close.

Trim is warped in this area also.



Satisfactory Interior Ceilings - Generally Good Condition

Typical cracks noted.

Satisfactory Interior Floors - Generally Good Condition

Few cracked tiles noted, none beyond typical at time of inspection.

Typical grout cracks noted at baseboard area. The preferred application for ceramic and stone tile is to have soft seal at baseboard area-typically expandable cording and caulking. The existing application is very prevalent in this area. Home inspectors cannot determine the condition of the thin set application under the tiles- improper application can lead to hollow and or loose tiles.

INTERIOR

Service/Repair Windows - Needs Repair

Dining Room NE window difficult to latch.
Most tracks are dirty- recommend cleaning and lubricant-silicone spray or graphite recommended.

Satisfactory Interior Outlets - Three Prong Grounded

Satisfactory Interior Switches - Functions Correctly

"Mystery" switches present. Could be to pre-wired areas.

Satisfactory Interior Fixtures - Function Correctly

Satisfactory Ceiling Fan - Present

Safety Concern Smoke Detectors - Present

Several smoke detectors on South side of home are missing batteries. Recommend batteries be installed
Smoke detectors should be checked on the day home is occupied.



Service/Repair Closets - Needs Repair

SW bedroom closet door does not latch when closed, recommend adjustment/repair.

Satisfactory Interior Cabinets and Shelving - Generally Good Condition

Satisfactory Interior Heat Source In Each Room - Present

Satisfactory Interior Cooling Source In Each Room - Present

Satisfactory Window Egress - Present

Satisfactory Interior Fire Place 1 - Gas-Burning Fireplace

Tested Serviceable. Control switch lighting. Gas shut off is within 6 feet of appliance as required.

Satisfactory Interior Fire Place 2 - Gas-Burning Fireplace

Tested Serviceable. Control switch lighting. Gas shut off is within 6 feet of appliance as required.

Satisfactory Visible Flues and Dampers - Generally Good Condition

Damper has been adapted properly for gas operation.
Ventless fireplace noted in living room, while attractive and acceptable may allow dangerous gases to enter the living space. Recommend reviewing manufacturers use instructions as some manufacturers recommend a window be opened when using.

BATHROOM

Satisfactory BATHROOM - Definition/Limitation

Satisfactory Number of Baths - 4.5

Satisfactory Bathroom Walls & Ceilings - Generally Good Condition

Service/Repair Bathroom Doors & Windows - Needs Repair

SW bathroom doorstop needs adjustment. Presently door hits towel rack before hitting door stop.

Satisfactory Bathroom Floors - Generally Good Condition

Service/Repair Bathroom Outlets - GFCI, Grounded

Outlets under bathroom sinks were not energized at time of inspection.



Satisfactory Bathroom Switches & Fixtures - Operates

Satisfactory Bathroom Ventilation - Electric Fan

Satisfactory Bathroom Heating /Cooling - Present

BATHROOM

Service/Repair Bathroom Sink Faucets - Needs Repair

NE office bathroom hot water has restricted flow at vanity sink. Cold water flow as acceptable. Recommend repair.



Satisfactory Bathroom Sink Stopper - Operates

Satisfactory Bathroom Sink Basin - Generally Good Condition

Service/Repair Bathroom Sink Drain and Trap - Needs Repair

SE bathroom sink was slow to drain. Recommend cleaning.
SW bathroom, corrosion was noted at the hot water shut off valve.
Not leaking at time of inspection.



Satisfactory Bathroom Cabinet - Generally Good Condition

Satisfactory Toilet Operation - Operates Properly

Satisfactory Toilet Bowl and Tank - Generally Good Condition

BATHROOM

Service/Repair Bathtub Faucets - Needs Repair

Master bathroom tub filler/spout is loose.



Satisfactory Bathtub Stopper - Operates

Satisfactory Bathtub Walls - Ceramic

Service/Repair Seal Around Bathtub - Needs Repair

SE bathroom tub, cracked grout noted along right side. Recommend improving seal.



Satisfactory Shower Faucets - Generally Good Condition

Satisfactory Showerhead - Generally Good Condition

Satisfactory Shower Drain - Adequate

Satisfactory Shower Stall Walls - Ceramic Tile

Safety Concern Spa - Operates

There are 2 outlets under the master bathroom spa tub 1 is GFCI protected as required, 1 outlet is not GFCI protected. Would expect both outlets to be GFCI protected, recommend repair.

Unable to determine if spa pump is bonded due to limited visibility.



LAUNDRY

Satisfactory **LAUNDRY - Definition/Limitation**

Laundry hook ups are not part of the home inspection process and are not tested do to the potential for leaking - monitored for leaking only. These hook ups are rarely used and leaking may occur after these are turned on or off-recommend evaluation at walk through prior to closing. Washers and dryers are not tested as part of the home inspection process- per ASHI Standards of Practice.

Satisfactory **Counter Tops - Generally Good Condition**

Satisfactory **Cabinets - Generally Good Condition**

Satisfactory **Laundry Sink - Present**

Satisfactory **Laundry Sink Faucets - Single Handle**

Satisfactory **Laundry Sink Drain Trap - Plastic**

Satisfactory **Laundry Energy Source - 220 Electric, Gas**

Assumed- no access behind washer and dryer.
220 outlets cannot be tested- typically there is so much plastic that they will not trigger the sensor- tried but did not respond.

Satisfactory **Laundry Ventilation - Electric Fan**

The exhaust fan in the laundry area was operational.

Satisfactory **Washer - Generally Good Condition**

Sampled for client- appears serviceable- no leaks present at time of inspection.

Satisfactory **Dryer - Generally Good Condition**

Dryer did heat up- sample tested for client.

Satisfactory **Dryer Vented - Floor**

WATER HEATER

Satisfactory **WATER HEATER - Definition/Limitation**

Satisfactory **Water Heater Appearance - Good Apperance**

Circulating pumps are not part of the home inspection process.

Satisfactory **Water Heater Exterior Jacket - OK**

WATER HEATER

Satisfactory

Water Heater 1 Mfg. - Bradford White



Satisfactory

Water Heater 1 Size - 75

Service/Repair

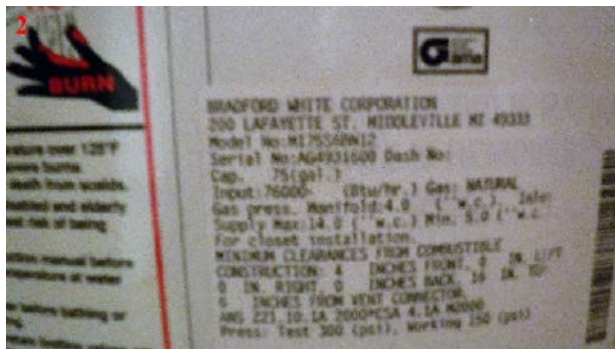
Water Heater 1 Approx. Age - 13

The average life span of water heaters is 8 to 10 years. Both units are approximately 13 years old and extended life should not be expected. You may want to discuss home warranty with your agent.

WATER HEATER

Satisfactory

Water Heater 2 Mfg. - Bradford White



Satisfactory

Water Heater 2 Size - 75

Satisfactory

Water Heater 2 Approx. Age - 13

Satisfactory

Water Heater Fuel - Gas

There appears to be proper and adequate combustible air flow to unit.

WATER HEATER

Safety Concern Water Heater Flues / Chimneys - Needs Attention

Garage vent pipe not properly fastened with three screws or taped at each of the joints. Example: flue to divertor connection



Satisfactory Water Heater Gas Piping - Shut-off Valve

Gas lines had 90 degree shut off valve (s) present- was properly supported.

Satisfactory Water Heater Cold Water Valve - Present

Typical corrosion noted on cold water plumbing.

Satisfactory TPR Valve - Present

Temperature Pressure Relief Valve does appear to terminate at approved location. Some areas are not visible.

Satisfactory Normal Operating Controls - Present

Water temperature-sampled at 123 degrees.

COOLING

Satisfactory COOLING SYSTEM - Definition/Limitation

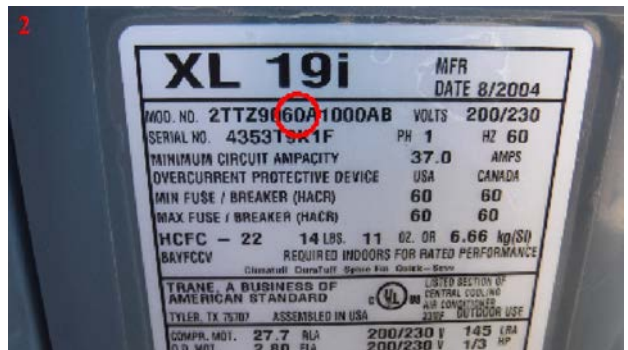
The inspection includes identifying and evaluating systems and their components. We do not dismantle the heating-cooling system, nor do we evaluate the following components: electronic air-cleaners, humidifiers, inline duct motors or dampers, all areas of the heat exchanger. We do not perform airflow diagnostic testing at the registers and it is imperative that any recommendation that we make for service or a second opinion be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property (phase-out of older air conditioner refrigerant can drastically elevate the cost of repairs on systems). Our service does not include a warranty or guarantee on the systems.

Satisfactory Cooling Type - Air Conditioner, Split System

COOLING

Satisfactory

Cooling System 1 Brand - Trane



Satisfactory

Cooling Unit 1 Tonnage - 5

Satisfactory

Cooling System 1 Approx. Age - 13



Satisfactory

Differential Temp 1 - Details

North: Return temp = 72 Supply temp = 55 Differential Temp = 17 degrees
Minimal acceptable split (temperature at supply air vs temperature at return air) is 15 degrees

COOLING

Satisfactory

Cooling System 2 Brand - Trane



Satisfactory

Cooling Unit 2 Tonnage - 4

Satisfactory

Cooling System 2 Approx. Age - 13



Satisfactory

Differential Temp 2 - Details

Center: Return temp = 75 Supply temp = 58 Differential Temp = 17 degrees

Minimal acceptable split (temperature at supply air vs temperature at return air) is 15 degrees

COOLING

Satisfactory

Cooling System 3 Brand - Trane



Satisfactory

Cooling Unit 3 Tonnage - 2 1/2

Satisfactory

Cooling System 3 Approx. Age - 13



Satisfactory

Differential Temp 3 - Details

South: Return temp = 70 Supply temp = 54 Differential Temp = 16 degrees
Minimal acceptable split (temperature at supply air vs temperature at return air) is 15 degrees

Satisfactory

Cooling System Coils and Fins - Clean

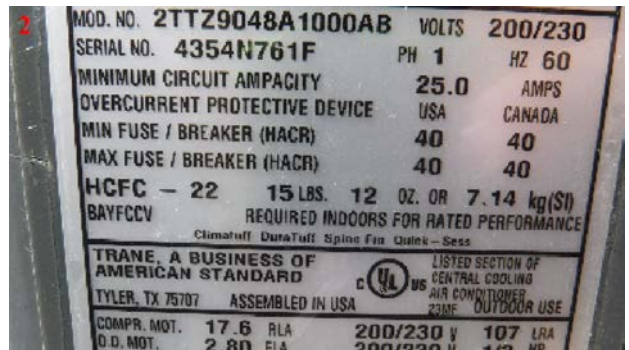
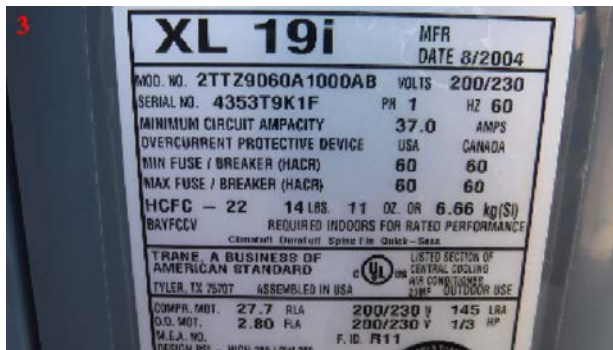
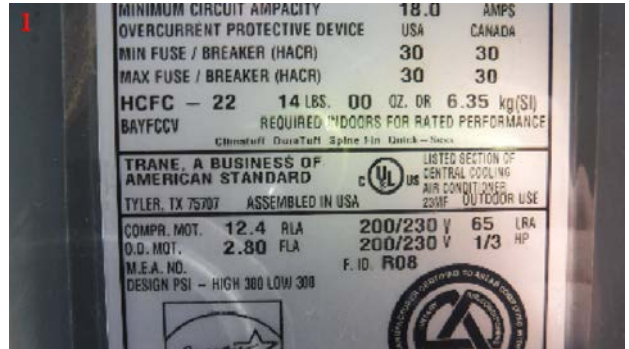
Few typical dings and dents on fins- typical for age of home.

COOLING

Satisfactory

Cooling System Electrical - Ext. Disconnect

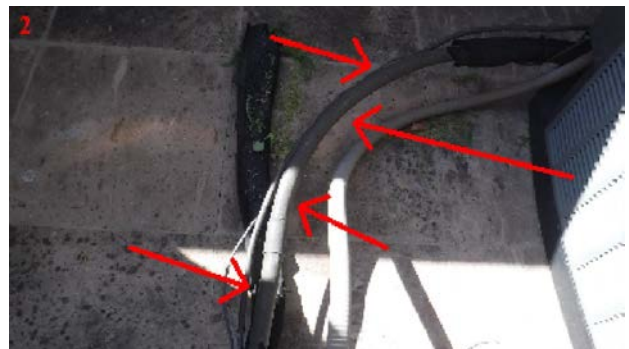
Appear to be properly rated.



Service/Repair

Cooling Lines - Insulation Missing

Insulation is missing on cooling line at South condensing units- insulation should be repaired/replaced.



COOLING

Service/Repair Condensate Drain - Plastic

Evidence of condensate and rusting along the North mechanical room pedestal indicates that the primary drain is clogged, and an HVAC contractor should clean out condensate drains. North condensate drain discharges at soil level. This could cause the drain to back up. Recommend there be at least 1inch gap between drain and soil.



Satisfactory Distribution System Material - Insulated Flex Duct

Satisfactory Operating Control - Programmable

Satisfactory Filter System - Disposable

Filters should be changed monthly.

Satisfactory Air Handler Brand - Trane

Satisfactory Air Handler Approx. Age - 13

Satisfactory Air Handler Tonnage - 2 1/2, 4, 5

HEATING

Satisfactory FURNACE - Definition/Limitation

The general home inspection does not include any type of heating system warranty or guarantee. Inspection of heating systems is limited to basic evaluation based on visual examination and operation using normal controls. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will result in referral to a qualified heating, ventilating, and air-conditioning (HVAC) contractor.

HEATING

Satisfactory

Forced Air System 1 Mfg. - Trane



Satisfactory

Forced Air System 1 Approx. Age - 13

HEATING

Satisfactory

Forced Air System 2 Mfg. - Trane



Satisfactory

Forced Air System 2 Approx. Age - 13

HEATING

Satisfactory Forced Air System 3 Mfg. - Trane



Satisfactory Forced Air System 3 Approx. Age - 13

Satisfactory Forced Air System Energy Source - Gas LP

FYI: Newer furnaces have a "drip loop" in the gas lines at the units to catch possible condensate and debris.

Satisfactory Hot Air System - Direct Drive

Satisfactory Heat Exchanger Flame Pattern - Appears Satisfactory

Flames are clean and blue.
Temperature ranges at 112 degrees- supply registers sampled.

Satisfactory Heat Exchanger Visual - Unit Sealed

Satisfactory Furnace Flue / Chimney - Metal

Satisfactory Distribution System Material - Insul. Flex Duct

HEATING

Satisfactory Operating Control - Programmable

Satisfactory Automatic Safety Control - Present

Automatic safety controls are Satisfactory where visible (inspection limited - units not disassembled).

Satisfactory Filter System - Disposable

Filters should be changed monthly

Satisfactory Fuel Leaks - No

Satisfactory Electrical Unit - Other

Other = Heaters on patio were operational at time of inspection.

GARAGE

Satisfactory GARAGE - Definition/Limitation

Satisfactory Garage Type - 3 Car Attached

Satisfactory Garage Exterior Walls - Same as House

Satisfactory Garage Fascia/Soffit - Same as House

Satisfactory Garage Guttering - Same as House

Satisfactory Garage Windows - Wood

Satisfactory Garage Roof Framing Style - Same as House

Service/Repair Garage Electrical System - Switches, GFCI, Overhead, Lighting

Garage florescent light above garage #2 did not respond to available controls. Could be failed bulb or ballast.



Satisfactory Garage Interior Walls - Drywall\Plaster

Typical Cracks.

Satisfactory Garage Interior Ceiling - Drywall\Plaster

Typical cracks noted.

GARAGE

Satisfactory **Garage Floor - Concrete**

Typical cracks and staining noted.
Painted

Satisfactory **Garage Doors - Overhead, Wood\Panel**

Wood panels have some warping, typical, recommend monitoring.

Safety Concern **Garage Door Operator - Auto Opener**

Both garage doors #1 and #2 did not reverse properly with 15 pound pressure test -recommend repair/adjustment.
Sensors were operational.

Satisfactory **Garage Service Door - Generally Good Condition**

Satisfactory **Garage Separation Door To House - Generally Good Condition**

Safety Concern **Garage Separation Walls - Needs Repair**

Doggie door installed along garage separation wall is not fire rated-
recommend removing doggie door and replacing with 5/8 inch
drywall for proper fire rating.



Satisfactory **Garage Separation Ceiling - Fire Rated**

The firewall in the garage appeared Satisfactory (fire ratings not verified).

ATTIC

Satisfactory **ATTIC - Definition/Limitation**

We will not attempt to enter an attic that has less than twenty-four inches of clearance, is restricted by components like ductwork, or when insulation obscures framing making mobility hazardous. Also, we do not move the insulation, which may obscure other components or defects. If the entire attic or portions of the attic are not accessible, components like: insulation, piping, ductwork, vapor retarder, etc. were not inspected in those areas.

Satisfactory **Attic Accessibility - Access Restricted**

*No floor boards present for walking or crawling.

Deep insulation hampered full inspection. Some parts of the attic not accessible. Due to insulation covering bottom joists could not walk across some areas safely. Low head room in many areas due to framing and ductwork. Approx. 80 % of the attic is not visible from safe access area. Due to safety concerns some areas could not be accessed.

Satisfactory **Attic Entry Access - Scuttle Hole**

Satisfactory **Attic Access Location - Closet, Garage**

Satisfactory **How Inspected - Viewed Through Scuttle Hole With Flashlight**

ATTIC

Satisfactory

Attic Structural Framing Type - Trusses

The roof & ceiling structure consists of a prefabricated truss system.



ATTIC

Satisfactory Attic Sheathing - Particle Board

Satisfactory Attic Floor Insulation - Fiberglass, Batt

Satisfactory Attic Insulation Thickness - 8 plus inches

Satisfactory Attic Insulation Approx. R. Value - 30

Satisfactory Attic Wiring - Not Visible

Some wiring is visible at light and switch area secured to truss framing members.

Satisfactory Attic Vent Pipes - Vented Outside

Satisfactory Attic Exhaust - Vents Outside

Satisfactory Attic Chimney Chase - Not Visible

Satisfactory Vapor Barrier - Not Present

No vapor barrier or an incomplete vapor barrier appears to be installed at the attic area - this is a normal condition in this climate zone and no action is required.

SWIMMING POOL / SPA

Satisfactory SWIMMING POOL / SPA - Definition/Limitation

At the Client's request the Company has performed an ancillary inspection for a separate additional fee to identify the general features and major deficiencies of the pool/spa under the same general terms outlined in the inspection agreement. Our visual evaluation of the pool/spa components is a limited review of general conditions in accordance with the Standards of Professional Practice for the Inspection of Swimming Pools & Spas for Arizona Home Inspectors. Systems are operated using the manual override mode only - operating controls are not fully evaluated. You are specifically advised to also consult with a system expert prior to closing escrow regarding system controls, service procedures and any repair needs. If you have children, it is necessary for you to obtain and review the pool safety regulations for the community and conform to that standard or to the personal standard that suits your tolerance for safety. Start by checking at www.aaronline.com/documents/pool_contacts.aspx and/or by calling your city building department. We suggest removal of diving boards and slides for safety. Pools & spas are inherently very dangerous, you must monitor activities at all times. Prior to closing escrow, check the property water bills for excessive cost which may indicate a system leak.

Breeze system is not part of the home inspection process.

Our generalist visual inspection cannot determine whether or not the pool/spa is leaking and most pools/spas leak a small amount. For a thorough evaluation and/or testing, consult with a licensed pool contractor.

Satisfactory Deck - Other

Stone tile. Typical cracks at mortar joints noted.

SWIMMING POOL / SPA

Service/Repair Liner - Below Ground, Other

Calcium / lime deposits noted.

Other=Tile.

The pool had a electrically-operated mechanical cover designed to cover and uncover the pool with a switch. Tested operational.



Service/Repair Equipment - D E

Pop ups are not operating properly- Only 4 pop ups operated at time of inspection- pressure should fluctuate as this system is cycling- no change at entire time at equipment. Recommend further evaluation and repair by qualified pool professional.



SWIMMING POOL / SPA

Major Defect

Heaters - Gas

The pool heating system appeared to be inoperable at the time of the inspection. LED displayed "Ignition failure" when tested. Excessive water was leaking in heater cabinet at time of inspection. No evidence of gas shut off within 6 ft of gas fired heater. Recommend shut off valve be installed. Gas line to gas fired heater is running along soil and rusting. Gas line should be wrapped if in soil or elevated above soil to avoid rusting. Recommend repairs. The Inspector recommends that the entire heating system be evaluated and any necessary repairs be made by a qualified contractor. If unit would need to be replaced the cost may exceed \$2000.



SWIMMING POOL / SPA

Safety Concern **Electrical - Generally Good Condition**

Junction box with a switch cover in the pool equipment area has exposed wiring noted and proper cover should be installed to prevent injury.

Armor cable conduit at pump is loose, wiring is exposed.

Recommend repair.

1 pool light did not respond to available controls. Recommend repair.

Spa lights and GFCI outlet tested and serviceable- Pump motors and heater appear bonded.



SWIMMING POOL / SPA

Service/Repair Pipes & Valves - Needs Repair

Leaks were observed at the bottom of both filters at the drain cover. A leak was visible along the PVC plumbing and should be repaired. A leak was noted along the port valve assembly and should be repaired.

A broken ball valve handle was noted.

No aerator installed, not required (designed to lower pool temperatures by running aerators at nighttime.) Spillway would have served similar capacity but has been abandoned.

Seller stated spillway has been abandoned.



Service/Repair Spa - Present

Spa cover was damaged.

Spa was operational. Recommend having seller inform spa and pool operation prior to closing. Blower and pumps were operational. Home inspectors are not allowed to change valve settings.



Safety Concern Pool Fencing - Not Present

No protective barrier was installed around the pool. This condition is a potential danger to small children. The inspector recommends that a barrier compliant with modern safety standards be installed by a qualified contractor for safety reasons.

Safety Concern Entrapment Prevention - Not Present

Recommend upgrading to newer style anti entrapment drains- device to prevent entrapment due to pool suction at drain areas.

GUTTERS

Satisfactory **GUTTER SYSTEM - General Comment**

Partial gutters.

Satisfactory **Inspected From - Roof**

Satisfactory **Access Restricted - Not Restricted**

Satisfactory **Gutter Type - Other**

Other =Metal

Service/Repair **Downspout Type - Other**

Technically Downspouts should terminate 6 feet from foundation. Fairly typical conditions for Phx metro area

Gutters have ground level drains present- cannot test operationally.

Satisfactory **Scuppers - Present**

ADDITIONAL COMMENTS

Service/Repair **ADDITIONAL INFORMATION / SUGGESTIONS - Further Evaluation Suggested**

Items that have been identified as Major Defect, Safety or Service/Repair need to be evaluated, repaired, modified or replaced and certified by a qualified licensed technician so as to be safe, effective and dependable.

Please note, our inspectors cover Maricopa County and beyond- codes change from time to time, town to town. We inspect to general standards. So, recognizing that towns have variances and the home has a certificate of occupancy, we assume the variances have been approved.

Thank you for using Desert State Home Inspections- please read the full report- any questions please call.

Safety Concern **GFCI Installation - GFCI'S Not Present In All Wet Environment Location**

For Safety Purposes, newer homes are equipped with GFCI (Ground Fault Circuit Interrupter) outlets in all wet environment areas. It is recommended that you consider installing GFCI outlets in all wet environment areas.

Satisfactory **Items Not Applicable In This House - Basement, Crawl Space, Aluminum Branch Circuit Wiring, Skylights, Retaining Walls**

DESERT STATE HOME INSPECTIONS, LLC
5425 E Pershing Ave. Scottsdale AZ 85254
Matthew Fey AZ Cert # 59715

Pre-Inspection Agreement Amount \$ _____

Inspection Agreement, Please Read Carefully

DESERT STATE HOME INSPECTIONS, LLC (hereafter referred to as THE HOME INSPECTION COMPANY) agrees to conduct an inspection for the purpose of informing the Client of any major points of concern in the condition of the property which THE HOME INSPECTION COMPANY discovers. The inspection and report are performed and prepared for the sole, confidential and exclusive use and possession of the Client. The written report will include the following:

Mechanical systems including Central Heating and Cooling Units; Plumbing Fixtures; Piping; Water Heater; Electrical Service; Structural condition including Foundation; Basement, Crawl Space and Attic; General Interior including Ceilings, Walls, Floors, Windows and Doors; Fireplace and Chimney; Kitchen Appliances; Bathrooms; General Exterior including Roofing, Siding, Gutters, Grounds, Drainage and Grading. Report the condition of the Major Systems. Inspection of Swimming pool and/or spa are available for an additional fee.

The inspection and report do not address the possible presence of or danger from any potentially harmful substances and environmental hazards including but not limited to asbestos, lead paint, radon gas, urea formaldehyde, toxic or flammable chemicals and water and airborne hazards. The inspection and report will not address central vacuum systems, intercoms, fire and safety equipment, security systems, telephone wiring, cable wiring, and other low voltage systems, sprinkler systems, water softeners, wells and septic systems, the presence or absence of rodents, termites and other wood-damaging insects, and portable appliances. The Client specifically agrees and acknowledges that MECHANICAL DEVICES MAY OPERATE AT ONE MOMENT AND LATER MALFUNCTION.

LIMITATIONS OF LIABILITY: Client hereby acknowledges and agrees that the limits of liability of THE HOME INSPECTION COMPANY for any purpose will be limited to the sum equal to the amount of the fee paid by the Client for the inspection and report. The liability of THE HOME INSPECTION COMPANY is strictly limited to the specific areas which were inspected and detailed in this report. If a mechanical device malfunctions, the Client agrees that THE HOME INSPECTION COMPANY is not liable unless it can conclusively be shown, with clear and convincing evidence, that the mechanical device was inoperable or in immediate need of repair or not performing the function for which it was intended at the time of the inspection. In the event of a claim by the Client that an installed system component on the premises which was inspected by the Inspector was not in the condition reported by the Inspector, the Client agrees to notify the Inspector at least 72 hours prior to replacing or repairing such system or component, in order to give the Inspector an opportunity to evaluate the claim. All complaints must be received in writing within one year of the inspection.

THE HOME INSPECTION COMPANY will have no liability for failing to detect a defect, malfunction, inoperative condition or necessity for repair where the defect, malfunction, inoperative condition or need for repair was concealed or covered up, whether intentional or otherwise. The Client agrees THE HOME INSPECTION COMPANY will have no liability for incidental or consequential damages. The Client understands and agrees that the Inspector and the written report will give an opinion of the systems in the house, and that other inspectors or professionals may have varying opinions. By initialing here, the Client specifically acknowledges that they received copies of the Arizona Standards of Practice, Report Definitions, and Inspection Information and Limitations (all of which are incorporated as a part of this Pre-Inspection Agreement) and agrees that THE HOME INSPECTION COMPANY IS PERFORMING A VISUAL INSPECTION ONLY. X_____ (INITIAL) (Part of original packet on-site)

THE HOME INSPECTION COMPANY DOES NOT GUARANTEE OR WARRANT THE CONDITION OF THE PROPERTY. The Client agrees that THE HOME INSPECTION COMPANY assumes no liability or responsibility for the cost of repairing any unreported defects or deficiencies, either current OR PERFORMANCE, OR CONDITION OF ANY INSPECTED STRUCTURE, ITEM OR SYSTEM. THE HOME INSPECTION COMPANY IS NOT AN INSURER OF ANY INSPECTED CONDITION.

ARBITRATION: Any controversy or claim arising out of or relating to this contract, or the breach thereof, shall be settled by arbitration administered by the American Arbitration Association in accordance with it's Commercial (or other) Arbitration Rules, and judgment on the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.

ATTORNEY'S FEES: Even though the Arbitration clause of this contract takes precedence and is binding, in the event that a lawsuit is filed by the Client against THE HOME INSPECTION COMPANY, and THE HOME INSPECTION COMPANY successfully defends against the claim of the Client, the Client agrees to pay THE HOME INSPECTION COMPANY'S reasonable attorney's fees and court costs incurred in defending against such claims. If a lawsuit is filed by THE HOME INSPECTION COMPANY to collect monies due and owing under this contract, the Client agrees to pay THE HOME INSPECTION COMPANY'S reasonable Attorney's fees, court costs, and expenses incurred in such suits and/or collection fees.
ACCEPTANCE AND UNDERSTANDING OF THIS AGREEMENT ARE HEREBY ACKNOWLEDGED:

X _____ X _____
INSPECTOR'S NAME DATE CUSTOMER SIGNATURE/S DATE

REPORT DEFINITIONS

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalists and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas cited in the home inspection.

Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible.

When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property.

The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might affect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist.

Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully.

Homebuyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advice and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.